



CITY OF PACIFIC GROVE
300 Forest Avenue, Pacific Grove, California 93950

AGENDA REPORT

TO: Chair Steres and Members of the Architectural Review Board

FROM: Wendy Lao, Assistant Planner

MEETING DATE: May 9, 2017

SUBJECT: Architectural Permit (AP) #17-301 to allow exterior changes, including the addition of two windows on the front elevation, the addition of three skylight windows on the north roof pitch, the replacement of aluminum windows with wood windows keeping with existing dimensions, and replacement of damaged shingle siding with in-kind material. There is no change to gross floor area, coverage, or dimensions.

ADDRESS: 124 17th Street (APN 006-153-012)

**ZONING/
LAND USE:** R-3-PGR/High Density to 29.0 DU/ac

**APPLICANT/
OWNER:** Alisa and Alan Boehme, owners

CEQA: Categorical Exemption, Guidelines 15331, Historical Resource Restoration/Rehabilitation

RECOMMENDATION

Receive report, hold public hearing, and approve AP #17-301 based on the findings and subject to the staff-recommended conditions.

BACKGROUND

On March 27, 2017, Alisa Boehme, property owner, applied for an Architectural Permit #17-301 for a property located at 124 17th Street in Pacific Grove. The permit would allow exterior changes to an existing single-family residence listed in the City's Historic Resources Inventory, including two new windows on the front elevation, three new skylight windows on the north roof pitch, replacing aluminum windows with wood keeping with existing dimensions, and replacing damaged shingle siding with new in-kind material. There is no change to gross floor area, building coverage, or site coverage.

DISCUSSION

Zoning Code

The proposed development is in conformance with all requirements of the R-3-PGR zone, with the exceptions of building coverage, site coverage, and setbacks, which are considered legal non-

conforming for the historic structure. There is no change to the building height and gross floor area.

Architecture Review Guidelines:

The project proposal appears to adhere to the following Architectural Review Guidelines:

Guideline #33: Door and window proportions should relate to the scale and style of the building itself.

The proposed windows in the front elevation appear to relate to the overall height and width of the façade and the structure.

Guideline #38: Exterior materials should be compatible with those that predominate in the area.

The project proposes to use wood windows, which will match the other existing windows in the historic residence and will provide a cohesive and improved appearance.

Appendix I: Architectural Review Guidelines for Historic Buildings (3): Preservation of character-defining features – The City encourages the preservation of distinctive features, finishes, and construction techniques or examples of craftsmanship that serve to characterize and define properties of historic significance.

The Phase 2 Historic Report determined that the existing historic character-defining features of the circa-1910 historic residence will be retained. Such features include the gable roof massing with wide fascia boards, brick chimney on the east (17th St) elevation, wood window surroundings on the east and south elevations, and shingle exterior wall cladding. Although the attic vents in the east elevation will be removed for the new windows, the Phase 2 Historic Report has determined that the attic vents are not character-defining features.

Environmental Determination:

The project qualifies for a Class 31 exemption from CEQA requirements, pursuant to Section 15331 – Historical Resource Restoration/Rehabilitation. The proposed addition and alterations do not present any unusual circumstances that would result in a potentially significant environmental impact. Because the proposed alterations to the building meet the *Standards*, the alterations are considered as mitigated to a level of less than a significant impact on the historic resource and do not constitute a substantial adverse change to the historic resource, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

ATTACHMENTS

- A. Permit Application
- B. Project Data Sheet
- C. Draft Permit
- D. Phase 2 Historic Report
- E. Window Details
- F. Project Plans

RESPECTFULLY SUBMITTED:

Wendy Lao

Wendy Lao, Assistant Planner



CITY OF PACIFIC GROVE

Community Development Department – Planning Division

300 Forest Avenue, Pacific Grove, CA 93950

Tel: 831.648.3190 • Fax: 831.648.3184 • www.cityofpacificgrove.org/cedd

Permit Application

Item 6b

Application # AP 17-301

Date: 3-27-17

Total Fees: 4,011⁸⁰

Received by: A. Aziz

APPLICANT/OWNER:	Project Address: <u>124 17th street</u> APN: <u>006-153-021</u>
	Project Description: <u>Re-roof w/ Composite Roof, adding 3 skylights; Replace Aluminum windows w/ 1-over-1 sash; Add 2 casement windows in attic; Replace damaged shingle siding (and any related wood rot)</u>
	Applicant Name: <u>Alisa Boehme</u> Owner Name: <u>Alan + Alisa Boehme</u>
	Applicant Phone: <u>650-862-7892</u> Owner Phone: <u>408-718-2190 / 650-862-7892</u>
	Applicant Email: <u>alisaboehme@hotmail.com</u> Owner Email: <u>alisaboehme@hotmail.com</u>
Applicant Mailing Address: <u>same as owner</u> Owner Mailing Address: <u>170 Cypress Point Rd. Half Moon Bay, CA 94019</u>	

Permit Request:

<input type="checkbox"/> CRD: Counter Determination	<input type="checkbox"/> AUP: Administrative UP	<input type="checkbox"/> IHS: Initial Historic Screening	<input type="checkbox"/> AVAR: Administrative VAR
<input checked="" type="checkbox"/> AP: Architectural Permit	<input type="checkbox"/> UP-A: UP Amendment	<input type="checkbox"/> HPP: Historic Preservation	<input type="checkbox"/> VAR-A: VAR Amendment
<input type="checkbox"/> AAP: Administrative AP	<input type="checkbox"/> AUP-A: AUP Amendment	<input type="checkbox"/> A: Appeal	<input type="checkbox"/> AVAR-A: AVAR Amendment
<input type="checkbox"/> ADC: Admin Design Change	<input type="checkbox"/> SU: Second Unit	<input type="checkbox"/> TPD: Tree Permit W/ Dev't	<input type="checkbox"/> MMP: Mitigation Monitoring
<input type="checkbox"/> SP: Sign Permit	<input type="checkbox"/> LLA: Lot Line Adjustment	<input type="checkbox"/> PUU: Undocumented Unit	<input type="checkbox"/> Stormwater Permit
<input type="checkbox"/> UP: Use Permit	<input type="checkbox"/> LM: Lot Merger	<input type="checkbox"/> VAR: Variance	<input type="checkbox"/> Other:

PLANNING STAFF USE ONLY:

CEQA Determination:	Review Authority:	Active Permits:	Overlay Zones:
<input checked="" type="checkbox"/> Exempt	<input type="checkbox"/> Staff	<input type="checkbox"/> Active Planning Permit	<input type="checkbox"/> Butterfly Zone
<input type="checkbox"/> Initial Study & Mitigated Negative Declaration	<input type="checkbox"/> ZA	<input type="checkbox"/> Active Building Permit	<input checked="" type="checkbox"/> Coastal Zone
<input type="checkbox"/> Environmental Impact Report	<input type="checkbox"/> SPRC	<input type="checkbox"/> Active Code Violation	<input checked="" type="checkbox"/> Area of Special Biological Significance (ASBS)
	<input checked="" type="checkbox"/> ARB	Permit #: _____	<input type="checkbox"/> Environmentally Sensitive Habitat Area (ESHA)

Property Information

Lot: ~~23~~ 24 Block: 51 Tract: Retreat

ZC: R-3-PGR GP: HDR 29 DU/AC Lot Size: _____

Historic Resources Inventory Archaeologically Sensitive Area

Staff Use Only:

MAR 27 2017

PAID
4,011.80
3-27-17

CITY OF PACIFIC GROVE
COMMUNITY DEV DEPT

CERTIFICATION – I, the undersigned, under penalty of perjury, depose and certify that I am the applicant for this request, that the property owner approves this application and that all statements contained herein, including all documents and plans submitted in connection with this application, are true and accurate to the best of my knowledge.

Applicant Signature: Alisa Boehme

Date: 3/27/17

Owner Signature (Required): _____

Date: 3/27/17

P A S T
CONSULTANTS LLC

Seth A. Bergstein
415.515.6224
seth@pastconsultants.com

March 15, 2017

Alan and Alisa Boehme
124 17th Street
Pacific Grove, CA 93950

Re: Phase Two Historic Assessment for 124 17th Street, Pacific Grove, CA
APN. 006-153-021

Dear Alan and Alisa:

This letter evaluates the proposed alterations to 124 17th Street, in Pacific Grove, CA. PAST Consultants, LLC (PAST) completed a site visit to the property on January 21, 2017 to view the property's existing conditions. The subject residence is a Craftsman-style single-family residence constructed circa-1910 and has received numerous alterations since its original construction.

The subject residence is presently on the City of Pacific Grove's Historic Resources Inventory (HRI) and is considered to be locally significant. The subject property encompasses Lot 24, Block 51, of the Pacific Grove retreat grounds. Pacific Grove Heritage archives were contacted to gather existing research on the building. Their records, including Sanborn maps from 1905 and 1914 were reviewed showing that the present building was constructed circa-1910.

The following Phase Two Historic Assessment provides a description and summary history of the property; a chronology of the changes made to all buildings on the subject property; a list of the property's remaining character-defining features; a list of proposed alterations; and an evaluation of the proposed alterations to the property's historic building for conformance with the *Secretary of the Interior's Standards for Rehabilitation*.

The Secretary of the Interior's Standards

The *Secretary of the Interior's Standards for the Treatment of Historic Properties (Standards)* provides the framework for evaluating the impacts of additions and alterations to historic buildings. The *Standards* describe four treatment approaches: preservation, rehabilitation, restoration and reconstruction. The *Standards* require that the treatment approach be determined first, as a different set of standards apply to each approach. For the proposed project, the treatment approach is rehabilitation. The *Standards* describe rehabilitation as:

P.O. Box 721
Pacific Grove, CA 93950
www.pastconsultants.com

In *Rehabilitation*, historic building materials and character-defining features are protected and maintained as they are in the treatment Preservation; however, an assumption is made prior to work that existing historic fabric has become damaged or deteriorated over time and, as a result, more repair and replacement will be required. Thus, latitude is given in the Standards for Rehabilitation and Guidelines for Rehabilitation to replace extensively deteriorated, damaged, or missing features using either traditional or substitute materials. Of the four treatments, only Rehabilitation includes an opportunity to make possible an efficient contemporary use through alterations and additions.¹

The ten *Standards* for rehabilitation are:

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

¹ *The Secretary of the Interior's Standards for the Treatment of Historic Properties* (accessed via <http://www.nps.gov/hps/tps/standguide/>).

124 17th Street: Summary of Property History

A copy of the Sanborn map from 1914, courtesy of Pacific Grove Heritage, appears below.

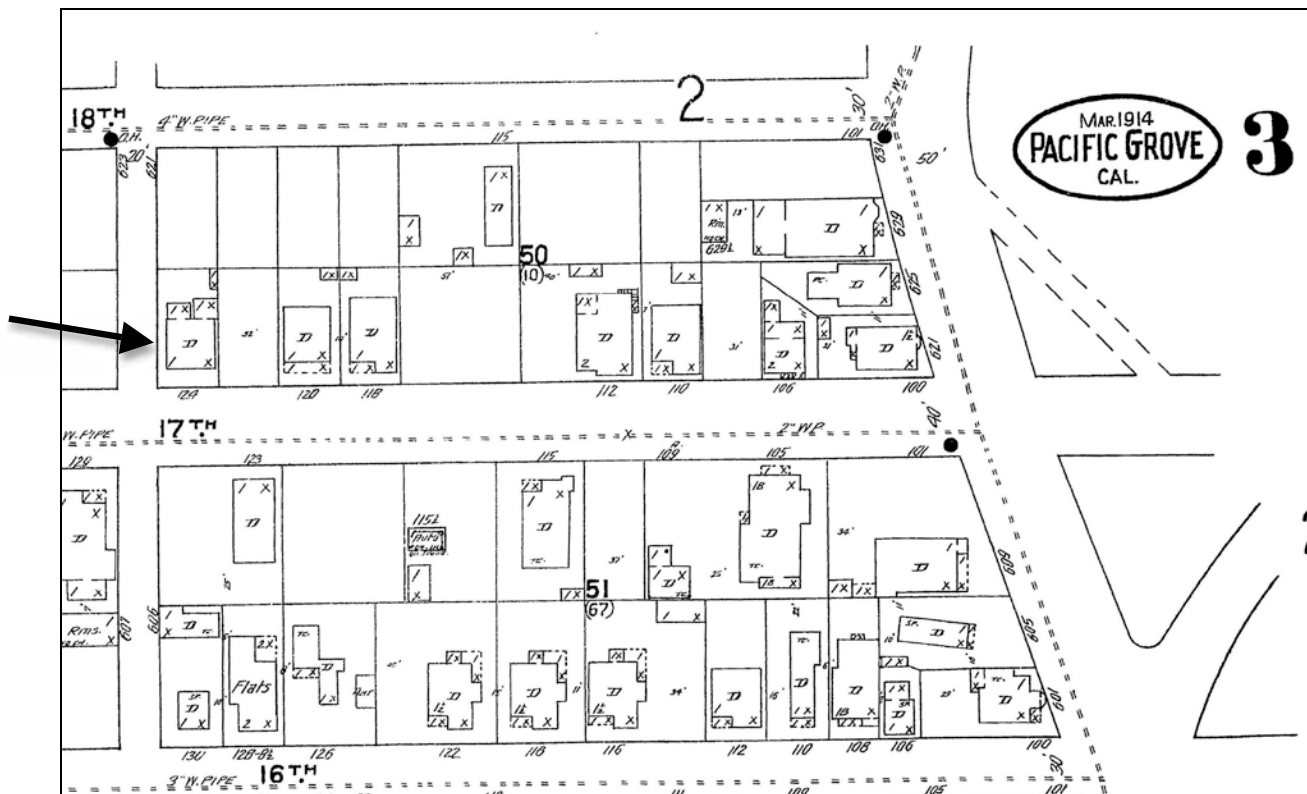


Figure 1. 1914 Sanborn map with circa-1910 residence shown with an arrow. The shed outbuilding was removed during subsequent alterations.

The house does not appear on local Sanborn maps until the 1914 map (**Figure 1**), giving a construction date of circa-1910.

124 17th Street: Existing Site Conditions

The subject single-family residence was constructed circa-1910 as a Craftsman-style bungalow. The original structure has gable roofs, wide fascia boards, a single chimney and shingle exterior wall cladding (**Figures 2 and 3**).



Figures 2 and 3. Left image shows the east and south elevations with the large, two-story circa-1971 addition toward the far left. Right image shows the east elevation on 17th street. The original porch was on the northeast corner (arrow).

Alterations include relocation of the porch from the northeast corner to its present location on the southeast building corner and a small addition on the east elevation where the porch was enclosed (**Figures 2 and 3**). The 17th Street elevation received a large, two-story addition, circa-1970 (**Figures 4 and 5**). All original windows have been replaced with aluminum sliders and sash.



Figures 4 and 5. Left image shows the south (Union St.) elevation of the Craftsman bungalow where it meets the circa-1971 addition. Right image shows the two-story, circa-1971 addition on Union Street.

Remaining Character-defining Features of 124 17th Street

- Gable roof massing with wide fascia boards.
- Brick chimney on the east (17th Street) elevation.
- Wood window surrounds on the east and south elevations.
- Shingle exterior wall cladding.

Previous Alterations to 124 17th Street

Based on a records search of files at the Pacific Grove Community Department and Pacific Grove Heritage, the following list summarizes permits for exterior modifications. Where permits were not located, construction dates are estimated based on the material conditions found on the building during the site visit.

- Permit #1334, 1938: Install garage southwest of bungalow. Garage removed for circa-1971 two-story addition.
- No permit, circa-1960s: Replace original Craftsman-style windows with aluminum sash and/or fixed glass in original window openings on the south and east elevations.
- No permit, circa-1960s: Enclose original porch on northeast building corner and relocate front entrance to southeast building corner. Construct small front addition where porch was enclosed.
- Permit #680, 1971: Remove circa-1938 garage and construct two-story side addition with modern massing. Earlier shed outbuilding removed for construction of the addition.
- Permit #02-0228, 2002: Repair dry rot on southeast corner porch. Replace porch stairs.
- Permit #13-142, 2013: Permit to replace non-original aluminum windows with wood casements. Permit granted, but alterations not constructed.

Summary of Proposed Alterations

Design drawings by Summa Architecture and dated February 13, 2017 were the design drawings evaluated for this Phase Two Historic Assessment. The proposed alterations are:

- Install two 15”x32” wood casement windows in attic roof vent locations flanking fireplace chimney on east (17th Street) elevation.
- Remove existing roofing material and install new roof with composition shingles.
- Install three flat skylights on north pitch of gable roof.
- Replace non-historic aluminum sash windows with 1/1 wood sash windows in original openings on the south elevation of the circa-1910 bungalow.
- Repair/replace in-kind, the existing shingle-wall cladding.
- Retain existing historic character-defining features of the circa-1910 historic residence.

Evaluation of Proposed Alterations

The following lists the ten *Standards* for rehabilitation, with an evaluation of the proposed alterations given below each *Standard*.

1. *A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.*

The proposed alterations will allow the building to continue its residential use, while retaining the existing character-defining features and satisfying this *Standard*.

2. *The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.*

The proposed rehabilitation design removes the attic vents in the east elevation for installation of the windows. However, the attic vents aren't character-defining features. The remaining character-defining features of the residence will be repaired and retained, satisfying this *Standard*.

3. *Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.*

The proposed alterations do not add conjectural features or elements from other historic properties that would confuse the remaining character-defining features of the subject property.

4. *Changes to a property that have acquired historic significance in their own right will be retained and preserved.*

The proposed alterations do not impact any changes to the building that may have acquired historic significance.

5. *Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.*

The remaining distinctive features and finishes of the residence, including the shingle wall cladding, gable roof fasciae and rafters, wood window surrounds and the brick chimney will be repaired and retained, satisfying this *Standard*.

6. *Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.*

The proposed alterations will repair and replace, in-kind, the exterior shingles and wood details of the circa-1910 bungalow residence, satisfying this *Standard*.

7. *Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.*

This *Standard* does not apply, as chemical and physical treatments to historic fabric are not proposed.

8. *Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.*

This *Standard* does not apply, as archaeological features are not identified at the site.

9. *New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work shall be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.*

The only additions to the building are the window openings in the east elevation attic vents and the installation of three skylights on the north-facing gable roof pitch. The skylights will not be visible from the primary elevations. The skylights and attic windows are small and in scale with the circa-1910 bungalow residence, satisfying this *Standard*. It should be noted that non-historic aluminum window sash on the south elevation will be replaced with wood sash windows and the original window openings maintained, which will improve the historic look of the building's south elevation on Union Street.

10. *New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.*


The proposed new windows and skylights could be removed from the building and the historic residence returned to its present condition. In addition, the proposed rehabilitation design will retain and rehabilitate the remaining exterior character-defining features of the circa-1910 bungalow residence, allowing the property to maintain adequate historic integrity and satisfy this *Standard*.

Conclusion

In conclusion, the proposed design alterations to the historic single-family residence at 124 17th Street, Pacific Grove meets the *Secretary of the Interior's Standards for Rehabilitation*. The proposed changes do not impact the remaining character-defining features or overall historic integrity of the building. Because the proposed alterations to the building meet the *Standards*, the alterations are considered as mitigated to a level of less than a significant impact on the historic resource and do not constitute a substantial adverse change to the historic resource, thus conforming to the requirements of the California Environmental Quality Act (CEQA).

Please contact me if you have any questions about this evaluation.

Sincerely,



Seth A. Bergstein, Principal

Cc. Pacific Grove, Community Development Department

**MONTEREY PENINSULA WATER MANAGEMENT DISTRICT
RESIDENTIAL WATER RELEASE FORM AND WATER PERMIT APPLICATION**

Item 6b

NOTE: When approved and signed by the jurisdictions, this form must be submitted with final and complete Construction Plans to:

Monterey Peninsula Water Management District Permit Office
5 Harris Court, Bldg. G ♦ Monterey, CA 93940 ♦ (831) 658-5601 ♦ www.mpwmd.net ♦ Fax (831) 644-9558
Completing the Water Release Form & Water Permit Application does not guarantee issuance of a Water Permit.

ALL SPACES BELOW MUST BE COMPLETED OR THE APPLICATION MAY NOT BE PROCESSED. (Please print firmly)

1. OWNERSHIP INFORMATION:

Name: Alan & Alisa Boehme
Daytime telephone: 650-862-7892
Mailing Address: 170 Cypress Point Rd,
Half Moon Bay, CA 94019

2. AGENT/REPRESENTATIVE INFORMATION:

Name: Alisa Boehme
Daytime telephone: 408-718-2190
Mailing Address: 124 17th Street
Pacific Grove, CA 93950

3. PROPERTY INFORMATION:

What year was the house constructed? 1930 Existing Square-footage 1771 Proposed Square-footage 1771
Address: 124 17th street Assessor Parcel Number 006-153-021

Is a water meter needed? (Circle one) YES NO If yes, how many meters are requested? _____
Water company serving parcel: California American Water Account Number: 1015-220017136633
~~1015-220017136626~~

NOTE: Separate water meters are required for each User. Residential uses require separate meters for all auxiliary housing that includes a kitchen.

4. PROJECT DESCRIPTION (Be thorough and detailed): Re-roof; repair shingle siding & dry rot;
replace aluminum windows with like style, in wood; add 3
skylights and 2 attic-level windows.

5. INSTRUCTIONS: Table #1 should list the fixtures on the property as they exist before the project. Table #2 should reflect all fixtures on the property after the project is completed. Only one Master Bathroom can be designated per dwelling unit.

Table No. 1 Existing Property Fixture Count
(All fixtures before project)

Type of Fixture	Fixture	Value	Count
Washbasin	x 1.0	=	_____
Two Washbasins in the Master Bathroom*	x 1.0	=	_____
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	x 1.8	=	_____
Toilet, High Efficiency (HET)	x 1.3	=	_____
Toilet, Ultra High Efficiency (UHET)	x 0.8	=	_____
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)	x 0.5	=	_____
Zero Water Consumption Urinal*	x 0.0	=	_____
Masterbath (one per Dwelling): Tub & Separate Shower*	x 3.0	=	_____
Large Bathtub (may have Showerhead above)	x 3.0	=	_____
Standard Bathtub or Shower Stall (one showerhead)	x 2.0	=	_____
Shower, each additional fixture (heads, body spray)	x 2.0	=	_____
Shower system, Rain Bars or Custom Shower (specs)	x 2.0	=	_____
Kitchen Sink (with optional Dishwasher)	x 2.0	=	_____
Kitchen Sink with High Efficiency Dishwasher	x 1.5	=	_____
Dishwasher, each additional (with optional sink)	x 2.0	=	_____
Dishwasher, High Efficiency (with opt. sink)	x 1.5	=	_____
Laundry Sink/Utility Sink (one per Site)	x 2.0	=	_____
Clothes Washer	x 2.0	=	_____
Clothes Washer, (HEW) 5.0 water factor or less	x 1.0	=	_____
Bidet	x 2.0	=	_____
Bar Sink	x 1.0	=	_____
Entertainment Sink	x 1.0	=	_____
Vegetable Sink	x 1.0	=	_____
Swimming Pool (each 100 sq-ft of pool surface)	x 1.0	=	_____
Other	x	=	_____
Other	x	=	_____
Other	x	=	_____

* Use this fixture count if a previous Permit was issued under Ordinance 80 to utilize the Master Bathroom Credit. (Tub may be large.) See District staff for more information.

Table No. 2 Post Project Fixture Count
(All fixtures after project)

Type of Fixture	Fixture	Value	Count
Washbasin	x 1.0	=	_____
Two Washbasins in the Master Bathroom	x 1.0	=	_____
Toilet, Ultra Low-Flush (1.6 gallons-per-flush)	x 1.8	=	_____
Toilet, High Efficiency (HET)	x 1.3	=	_____
Toilet, Ultra High Efficiency (UHET)	x 0.8	=	_____
Urinal, High Efficiency (HEU) (0.5 gallon-per-flush)	x 0.5	=	_____
Zero Water Consumption Urinal*	x 0.0	=	_____
Masterbath (one per Dwelling): Tub & Separate Shower	x 3.0	=	_____
Large Bathtub (may have Showerhead above)	x 3.0	=	_____
Standard Bathtub or Shower Stall (one showerhead)	x 2.0	=	_____
Shower, each additional fixture (heads, body spray)	x 2.0	=	_____
Shower system, Rain Bars or Custom Shower (specs)	x 2.0	=	_____
Kitchen Sink (optional dishwasher)	x 2.0	=	_____
Kitchen Sink with High Efficiency Dishwasher	x 1.5	=	_____
Dishwasher, each additional (optional sink)	x 2.0	=	_____
Dishwasher, High Efficiency (with opt. sink)	x 1.5	=	_____
Laundry Sink/Utility Sink (one per Site)	x 2.0	=	_____
Clothes Washer	x 2.0	=	_____
Clothes Washer, (HEW) 5.0 water factor or less	x 1.0	=	_____
Bidet	x 2.0	=	_____
Bar Sink	x 1.0	=	_____
Entertainment Sink	x 1.0	=	_____
Vegetable Sink	x 1.0	=	_____
Instant-Access-Hot-Water System (fixture credit)	x <0.5>	=	_____
New Connection - Refer to District Rule 24-A5 "Exterior Residential Water Demand Calculations"	x	=	_____
Subtotal proposed fixtures		=	_____
Swimming Pool (each 100 sq-ft of pool surface)	x 1.0	=	_____

EXISTING FIXTURE UNIT COUNT

TOTAL = _____

PROPOSED FIXTURE UNIT COUNT

TOTAL = _____

DEED RESTRICTION REQUIRED FOR ALL WATER PERMITS - PERMIT PROCESS MAY TAKE UP TO THREE WEEKS

In completing the Water Release Form, the undersigned acknowledges that any discrepancy or mistake may cause rejection or delay in processing of the application. Additionally, the undersigned is responsible for accurately accounting for all water fixtures. If the fixture unit count changes without notification to the District, or if a difference in fixtures is documented upon official inspection, Water Permits for the property may be canceled. In addition, water fixtures installed without a Water Permit may be cause for interruption of the water service to the Site, additional fees and penalties, the imposition of a lien on the property, and deduction of water from the local Jurisdiction's Allocation. The property owner/Applicant is required to notify the District and provide Construction Plans as appropriate for each change in the Project made prior to use or occupancy that may affect the Project's Capacity to use water.

6. I certify, under penalty of perjury, that the information provided on this Water Release Form & Water Permit Application is to my knowledge correct, and the information accurately reflects water use presently planned for this property.

Signature of Owner/Agent: Alisa Boehme Date: 3/27/17 Location Where Signed: Pacific Grove, CA
Print Name: Alisa Boehme File or Plan Check Number: _____

AUTHORIZATION FOR WATER PERMIT - JURISDICTION USE ONLY

_____ AF Paralta Allocation _____ AF Public Credits _____ AF Second Bathroom Protocol
_____ AF Pre-Paralta Credits _____ WDS (Private Well) _____ Water Entitlement _____ No water needed

Notes: _____ Authorized by: _____ Date: _____

This form expires one year from date of authorization for this project by the jurisdiction.

White copy-MPWMD

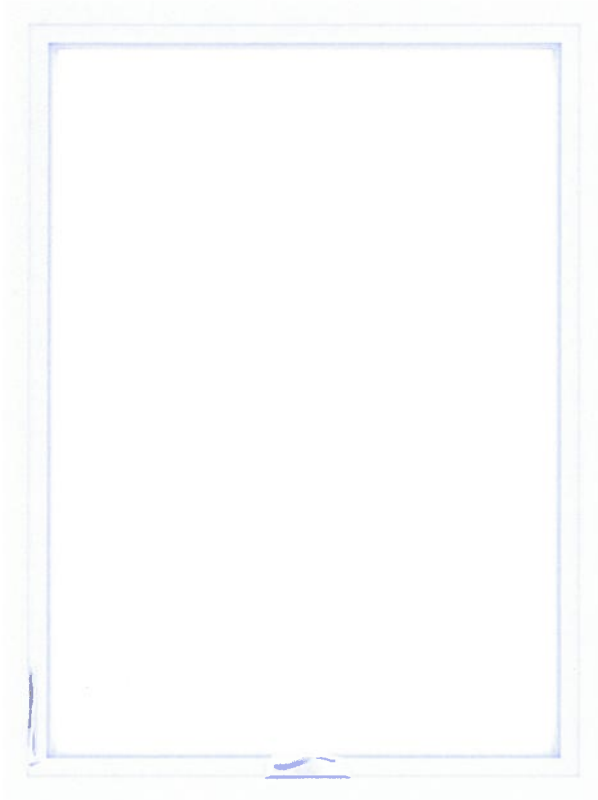
Yellow copy-applicant

Pink copy-jurisdiction

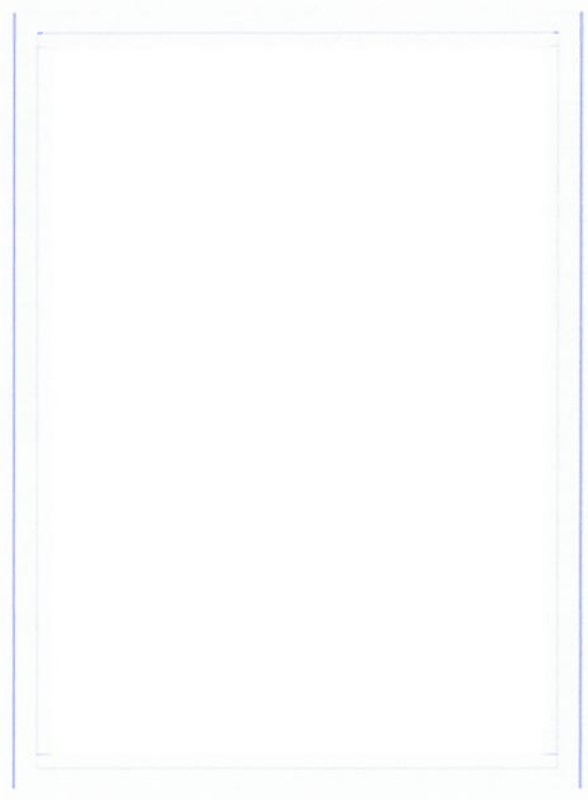


No change to existing fixtures.

100 Series Casement Window



Interior



Exterior

SUMMARY

To purchase this product or customize it further, take this summary to your Andersen dealer.

Product Name	100 Series Casement Window
Interior	White
Exterior Window Color	White
Hardware Options	Folding, White
Grille Style	None

[Home](#) / [Doors & Windows](#) / [Windows](#) / [Skylights](#) / [Fixed Skylights](#)

Model # FS C06 2004 Internet #202038762 Store SKU #300725

VELUX

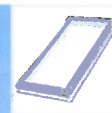
21 in. x 45-3/4 in. Fixed Deck-Mount Skylight with Laminated Low-E3 Glass

★★★★★ (16) [Write a Review](#) [Questions & Answers \(27\)](#)



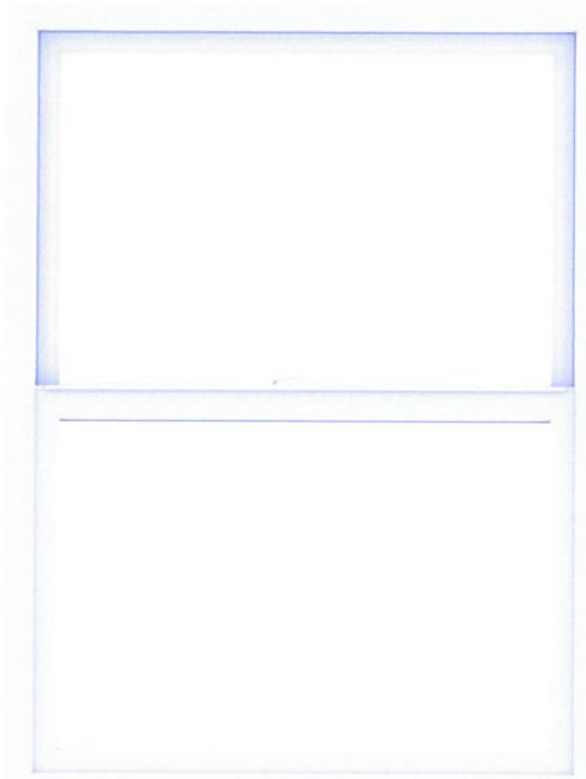
VELUX

21 in. x 45-3/4 in. Fixed Deck-Mount Skylight with Laminated Low-E3 Glass



Click Image to Zoom

100 Series Single-Hung Window



Interior



Exterior

SUMMARY

To purchase this product or customize it further, take this summary to your Andersen dealer.

Product Name	100 Series Single-Hung Window
Interior	White
Exterior Window Color	Sandtone
Hardware Options	Standard Lock and Keeper, White
Grille Style	None

What Is Fibrex® Material?

- A blend of 40 percent wood fiber by weight, mostly reclaimed from Andersen manufacturing processes, with 60 percent thermoplastic polymer by weight, some of which is also reclaimed.
- Blocks thermal transfer nearly 700 times better than aluminum to help reduce heating and cooling bills.
- Reduces VOC emissions because no wood preservative treatments or painting is required.
- Twice as strong as vinyl, so weathertight seals stay weathertight.
- Retains its stability and rigidity in all climates.
- A unique fabrication process blends the color with the Fibrex® material during production for long-lasting beauty.
- Resists rot, decay and fungal growth, and won't flake, blister, peel, pit or corrode*

*See individual [product warranties](#) for more information.

PACIFIC GROVE HOUSE
 124 17TH STREET
 PACIFIC GROVE, CA. 93950

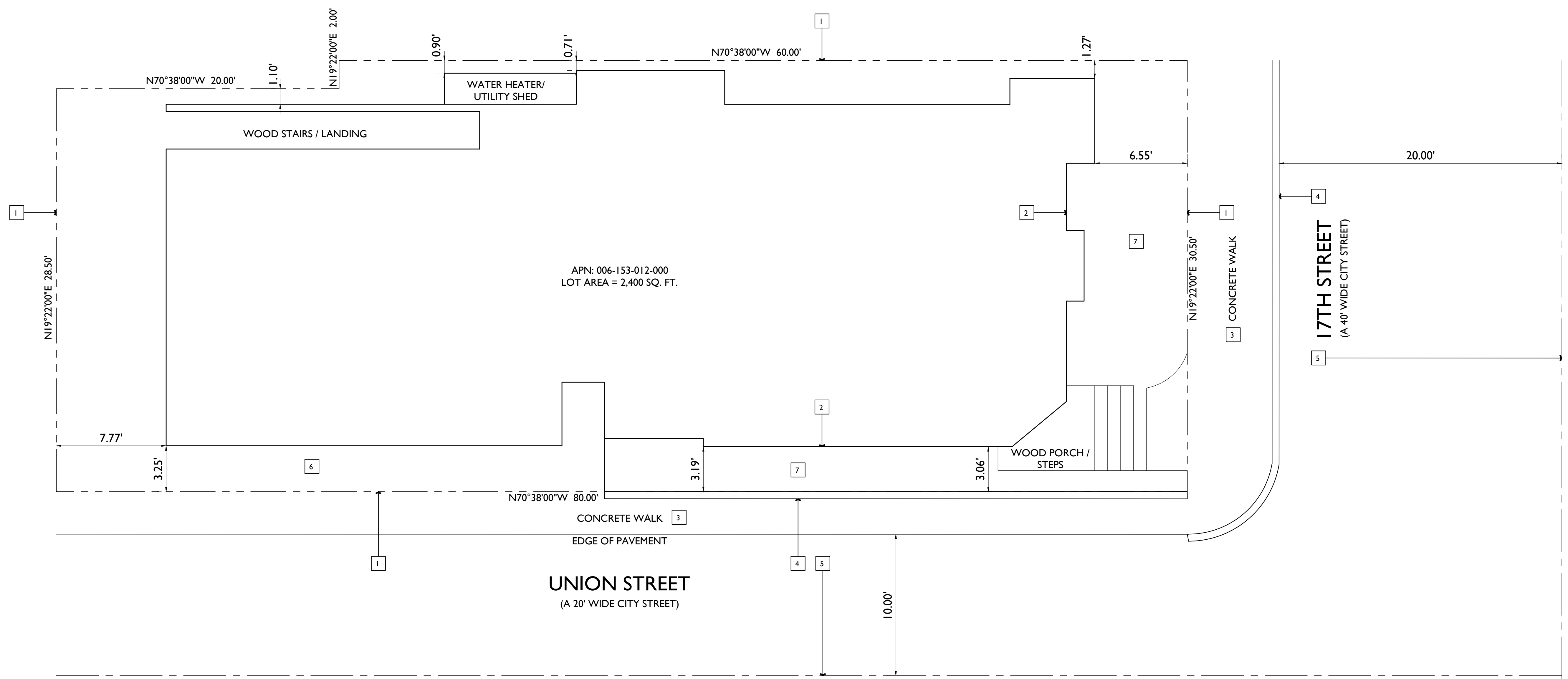
FEBRUARY 13, 2017
 REVISIONS

It is the client's responsibility prior to or during construction to verify the architect's drawings for any perceived errors or omissions on the client's part and specifications of which a contractor should be knowledgeable with the building codes and methods of construction should be responsible for aware. Written representations addressing such perceived errors or omissions shall be received from the architect prior to the client or client's subcontractors proceeding with the work. The client will be responsible for any delays in construction if these procedures are not followed.



SITE PLAN KEYNOTES

- 1 EXISTING PROPERTY LINE:
- 2 EXISTING BUILDING FOOTPRINT: TO REMAIN. NO PROPOSED CHANGES TO BUILDING LOCATION OR SIZE.
- 3 EXISTING CONCRETE WALKWAY:
- 4 EXISTING CONCRETE CURB:
- 5 STREET CENTERLINE:
- 6 EXISTING CONCRETE DRIVEWAY: TO REMAIN
- 7 EXISTING LANDSCAPE: TO REMAIN
- 8
- 9
- 10
- 11
- 12
- 13
- 14
- 15
- 16
- 17
- 18
- 19



PROJECT INFORMATION

PROJECT ADDRESS: 124 17TH STREET
 PACIFIC GROVE, CA. 93950

APN: 006-153-021
 LOT: 24
 BLOCK: 51

LEGAL DESCRIPTION: THAT CERTAIN REAL PROPERTY SITUATE IN THE CITY OF PACIFIC GROVE, COUNTY OF MONTEREY, STATE OF CALIFORNIA, IN BLOCK 51, AS SHOWN ON THAT CERTAIN MAP ENTITLED, "MAP OF PACIFIC GROVE RETREAT, MONTEREY COUNTY, CAL., ST. JOHN COX SURVEYOR, JULY 1875", FILED AUGUST 8, 1876 IN VOLUME I, MAPS OF "CITIES AND TOWNS", AT PAGE 49, IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY OF MONTEREY, STATE OF CALIFORNIA, DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT DISTANT S. 70°38'00" E., 40.00 FEET FROM THE SOUTHWEST CORNER OF LOT 23, IN SAID BLOCK 54; THENCE PARALLEL WITH THE WESTERLY BOUNDARY OF SAID LOT 23.

- (1) N. 19°22'00" E., 28.50 FEET; THENCE
- (2) S. 70°38'00" E., 20.00 FEET; THENCE
- (3) N. 19°22'00" E., 2.00 FEET; THENCE
- (4) S. 70°38'00" E., 60.00 FEET TO A POINT ON THE EASTERLY BOUNDARY OF LOT 22, IN SAID BLOCK 51, DISTANT N. 19°22'00" E., 0.50 FEET FROM THE SOUTHWEST CORNER OF SAID LOT 22; THENCE
- (5) S. 19°22'00" W., 30.50 FEET TO THE SOUTHWEST CORNER OF LOT 24, IN SAID BLOCK 51; THENCE
- (6) N. 70°38'00" W., 80.00 FEET TO THE POINT OF BEGINNING.

SITE PLAN LEGEND

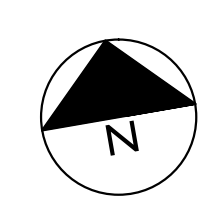
- NEW WALLS WHERE NO WALL CURRENTLY EXIST
- EXISTING WALL THAT ARE TO REMAIN
- - - WALLS TO BE REMOVED AND WILL NOT BE REPLACED
- ▨ WALLS THAT ARE TO BE DEMOLISHED AND REBUILT

SITE PLAN NOTES

THE SITE PLAN IS PROVIDED STRICTLY FOR BUILDING CONTEXT AND LOCATION. THERE ARE NO PROPOSED CHANGES TO THE BUILDING THAT WILL AFFECT EXISTING BUILDING AREA, PROJECTIONS OR SITE SETBACKS. THE EXISTING FOOTPRINT AS SHOWN IS TO REMAIN.

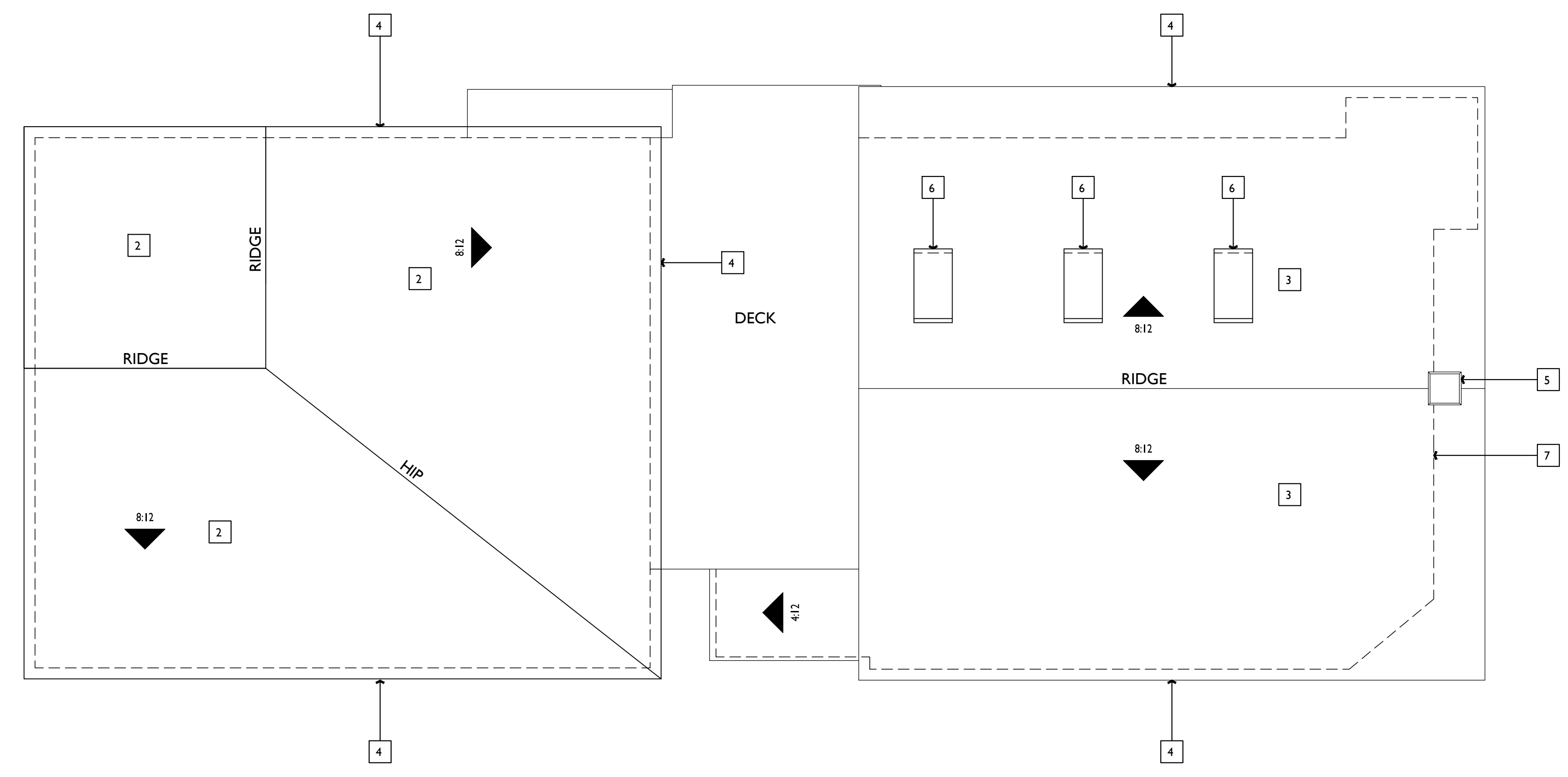
AREA SUMMARY

	EXISTING	PROPOSED
LOT AREA	2,400 SF	2,400 SF
BUILDING FOOTPRINT	1,587 SF	1,587 SF



ROOF PLAN KEYNOTES

- 1 EXISTING ASPHALT SHINGLE ROOF: 8:12 ROOF PITCH. VERIFY IN FIELD.
- 2 EXISTING COMPOSITE ROOF: 8:12 ROOF PITCH. VERIFY IN FIELD.
- 3 NEW COMPOSITE ROOF: 8:12 ROOF PITCH. VERIFY IN FIELD. COMPOSITE ROOF TO MATCH EXISTING COMPOSITE ROOF. ROOF EAVE TO REMAIN.
- 4 EXISTING BRICK FIREPLACE TO REMAIN
- 5 NEW DECK MOUNTED SKYLIGHT: 21" X 45-3/4". INSTALL PER MANUFACTURERS REQUIREMENTS
- 6 WALL BELOW:
- 7 REMOVE EXISTING ROOF: PREP FOR NEW SKYLIGHT INSTALLATION.
- 8
- 9
- 10
- 11
- 12



PROPOSED ROOF PLAN

SCALE: 1/4" = 1'-0"

2

ROOF PLAN LEGEND

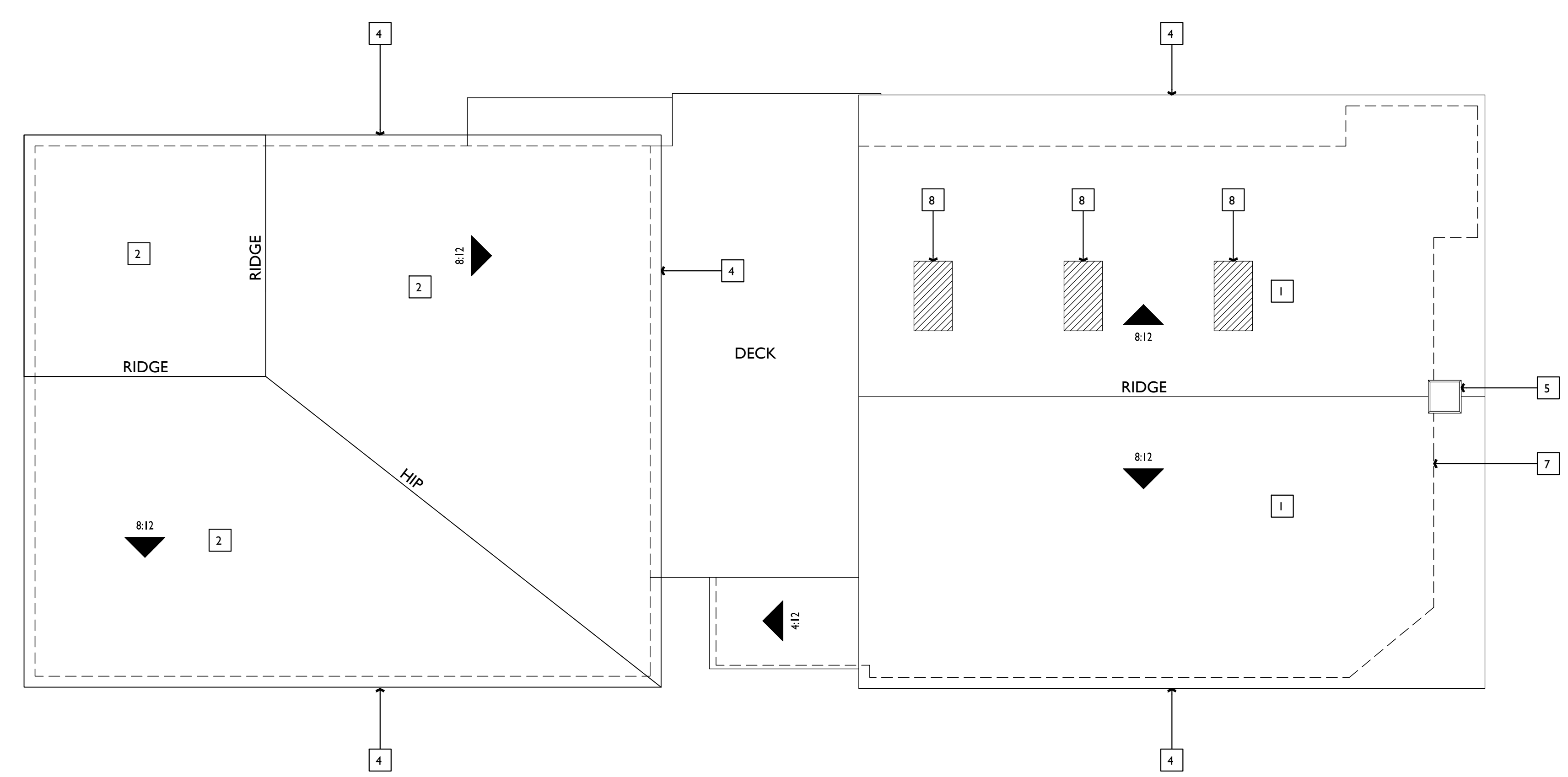
- SLOPE ROOF 8:12 U.N.O
- ROOFING MATERIAL: EXISTING - COMPOSITE AND ASPHALT SHINGLE PROPOSED - COMPOSITE ROOFING TO MATCH EXISTING INSTALL PER MFR. TEST REPORT
- AREA OF ROOF TO BE REMOVED
- AREA OF ROOF TO BE REMOVED

ROOF NOTES

1. ALL ROOFING TO BE INSTALLED PER ROOFING MANUFACTURERS SPECIFICATIONS.
2. ALL ROOFING TO BE INSTALLED OVER MINIMUM (1) LAYER 30 LB ROOF FELT WEATHER BOARD LAPPED.
3. NO ROOF PENETRATIONS (I.E. ATTIC VENTS, PLUMBING OR DRYER VENTS, ETC.) TO OCCUR WITHIN 1'-6" OF VALLEYS, HIPs OR RIDGES.
4. PLUMBING VENTS THROUGH ROOF INSTALLED PER DETAIL.
5. PAINT ALL EXPOSED ITEMS AND SURFACES NOT PROVIDED W/ A FACTORY FINISH TO PROTECT AGAINST THE ELEMENTS.

FEBRUARY 13, 2017
 REVISIONS

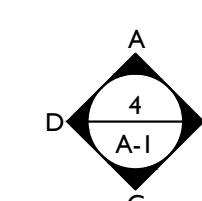
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EXISTING ROOF PLAN

SCALE: 1/4" = 1'-0"

1

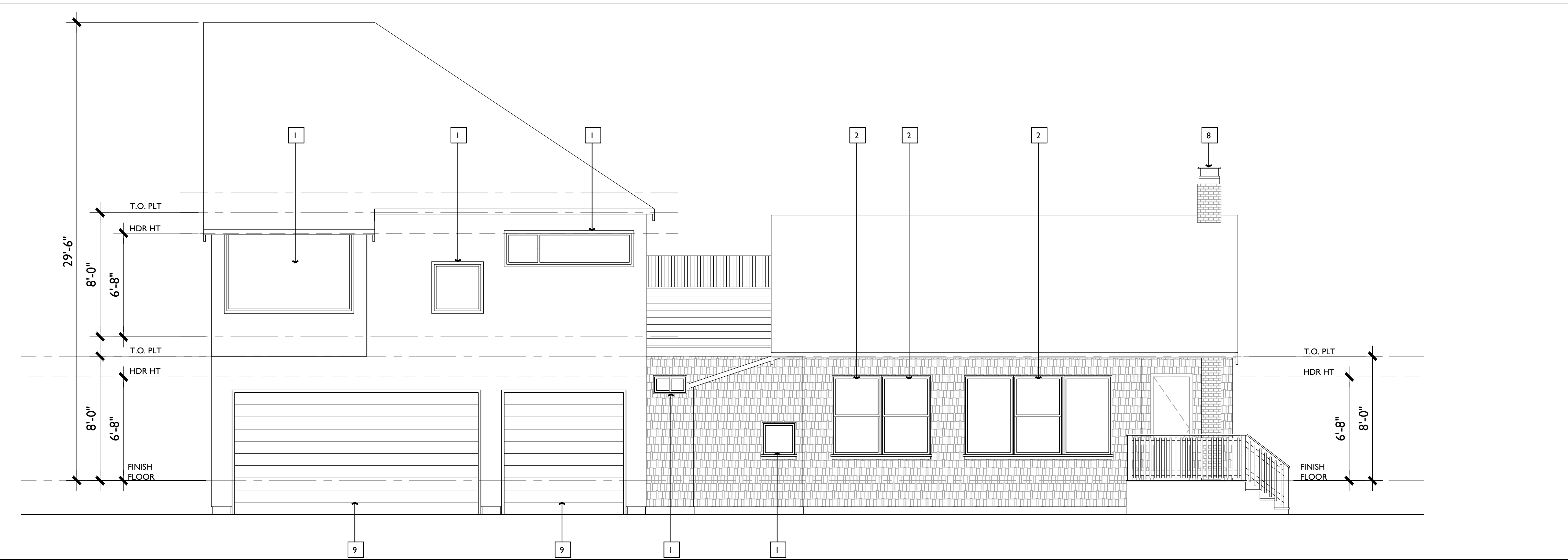


It is the client's responsibility prior to or during construction to notify the architect in writing of any perceived errors or omissions in the plans and specifications of which a contractor, through knowledgeable with the building codes and methods of construction should be responsible for aware. Written responses addressing such perceived errors or omissions shall be received from the architect prior to the client or client subcontractors proceeding with the work. The client will be responsible for any delays in construction if these procedures are not followed.



ELEVATION KEYNOTES	
1	EXISTING WINDOW TO REMAIN.
2	EXISTING ALUMINUM WINDOW SASH I-OVER-I TO BE REPLACED. REPLACEMENT WINDOW TO BE WOOD WINDOW SASH I-OVER-I THE EXACT SAME DIMENSIONS.
3	NEW WOOD WINDOW. SASH I-OVER-I.
4	EXISTING ROOF AREA TO BE REMOVED. PREP ROOF FOR NEW SKYLIGHT
5	NEW SKYLIGHT. DECK-MOUNTED FLAT SKYLIGHT 21" X 45-3/4". INSTALL PER MANUFACTURERS RECOMMENDATIONS.
6	EXISTING ATTIC GABLE VENT TO BE REMOVED. REPAIR EXISTING WALL PREP FOR NEW WINDOW. REPLACE SHINGLE SIDING AS NEEDED TO MATCH EXISTING.
7	NEW CASEMENT WINDOW. 15" X 32" CASEMENT WINDOW IN ATTIC
8	EXISTING BRICK FIREPLACE TO REMAIN
9	EXISTING GARAGE DOOR TO REMAIN
10	
11	
12	

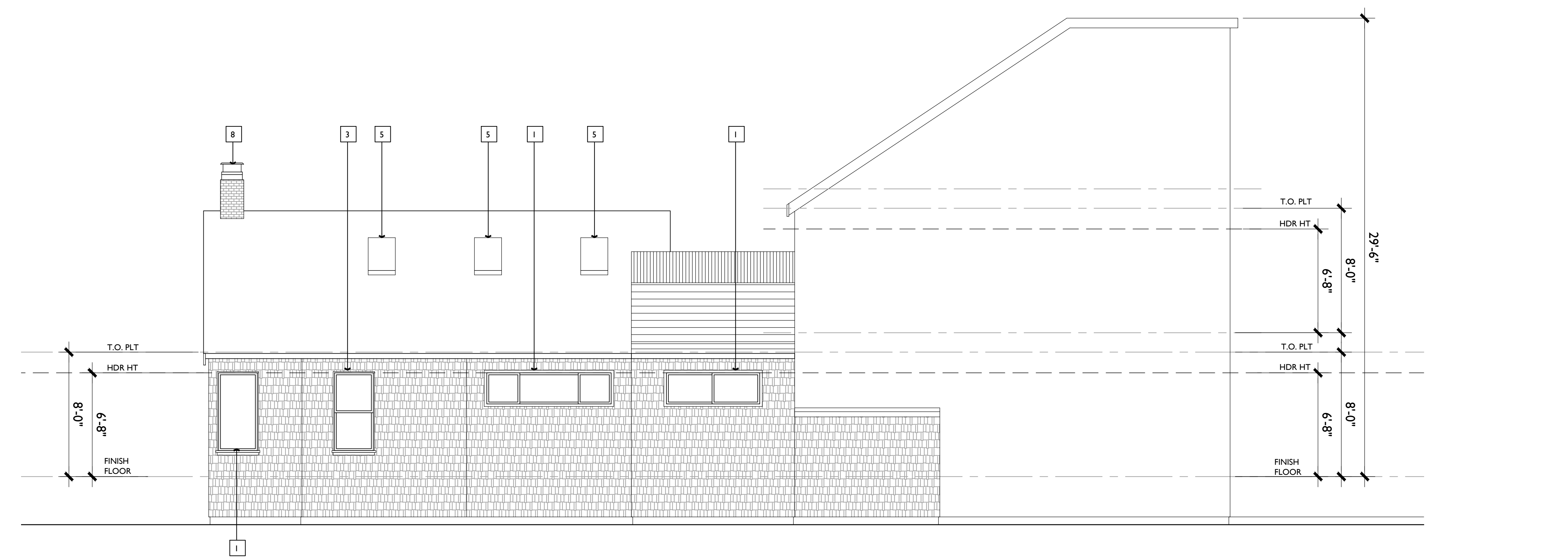
- EXISTING BRICK @ FIREPLACE TO REMAIN
- SHAKE SHINGLE SIDING TO REMAIN. REPAIR TO MATCH EXISTING CONDITION AS NEEDED
- AREA OF ROOF / WALL TO BE REMOVED
- AREA OF ROOF / WALL TO BE REPAIRED / REPLACED



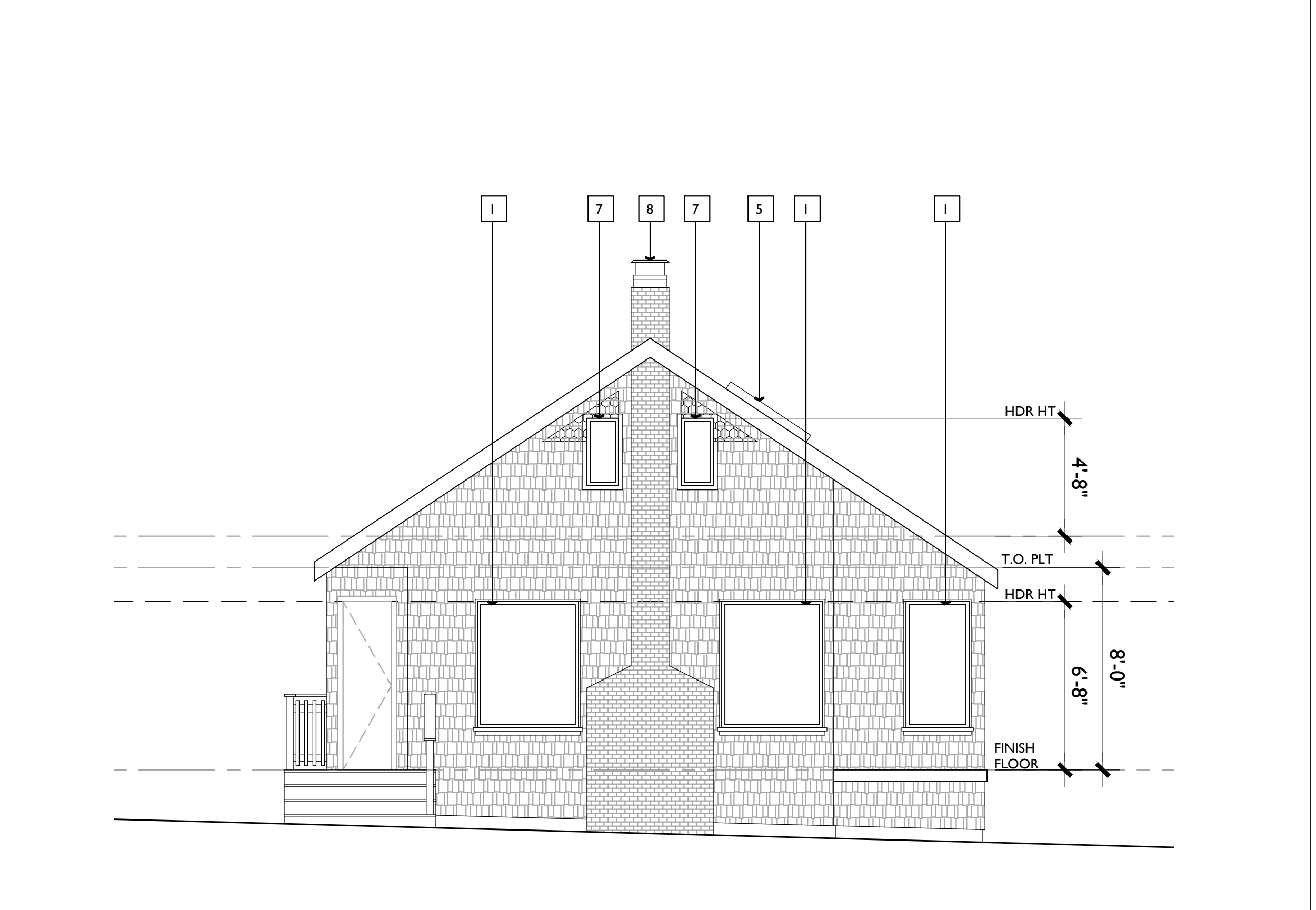
LEFT ELEVATION SCALE: 1/4" = 1'-0" 5

ELEVATION LEGEND

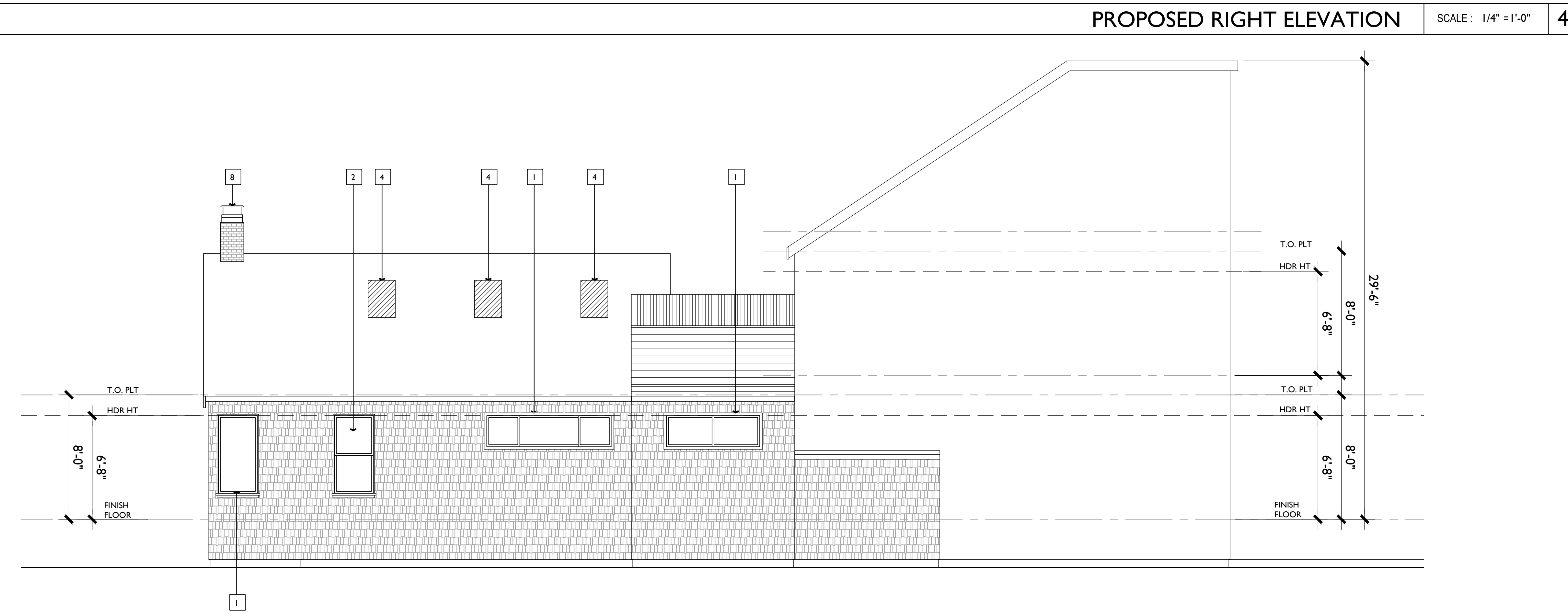
ELEVATION KEYNOTES



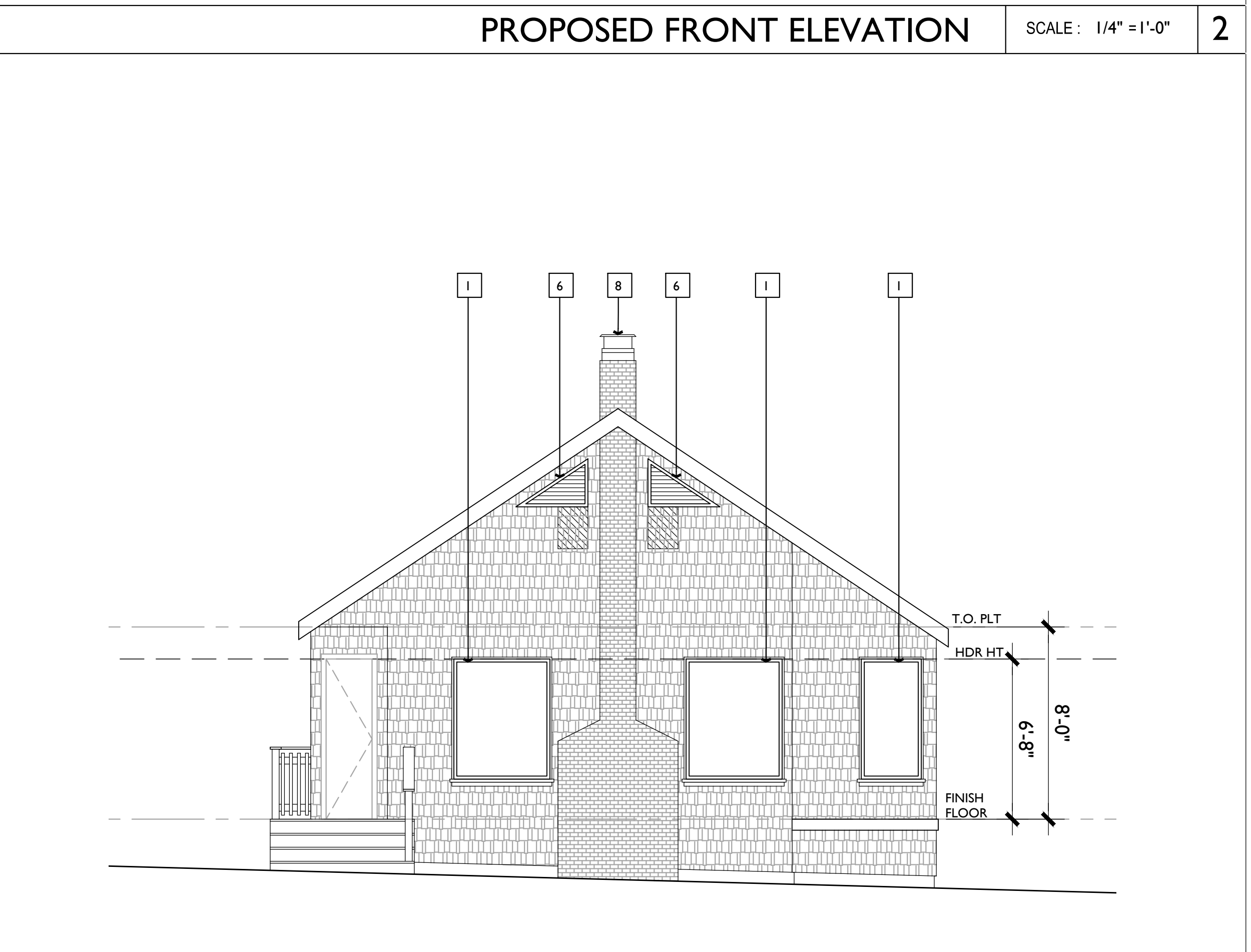
PROPOSED RIGHT ELEVATION SCALE: 1/4" = 1'-0" 4



PROPOSED FRONT ELEVATION SCALE: 1/4" = 1'-0" 2



EXISTING RIGHT ELEVATION SCALE: 1/4" = 1'-0" 3



EXISTING FRONT ELEVATION SCALE: 1/4" = 1'-0" 1